

HAWAII CONVENTION CENTER - DECK WATERPROOFING AND SLATE TILE REPLACEMENT

Project Address:

HAWAII CONVENTION CENTER
1801 Kalakaua Avenue
Honolulu, Hawaii 96815

Client:

AEG Management HCC, LLC
 1801 Kalakaua Avenue
 Honolulu HI 96815
c/o Cumming Group
 841 Bishop Street, Suite 725
 Honolulu, Hawaii 96813

Architect/Engineer:

Wiss, Janney, Elstner Associates, Inc.
 745 Fort Street, Suite 2200
 Honolulu, Hawaii 96813
 808.591.2728 tel | 808.591.2620 fax
www.wje.com

TMK No. : 2-3-035:001

CLASSIFICATION OF WORK:
 REPAIR

SCOPE OF WORK:

THE SCOPE OF WORK INCLUDES THE FOLLOWING:

- REMOVAL OF EXISTING SLATE TILE FLOORING AND WATERPROOFING DOWN TO THE STRUCTURAL DECK.
- CONCRETE REPAIRS TO THE EXPOSED CONCRETE STRUCTURE.
- INSTALLATION OF NEW WATERPROOFING AND ACCESSORY MATERIALS
- INSTALLATION OF NEW MORTAR BED, AND SLATE TILE INCLUDING GROUT LINES AND EXPANSION JOINTS.

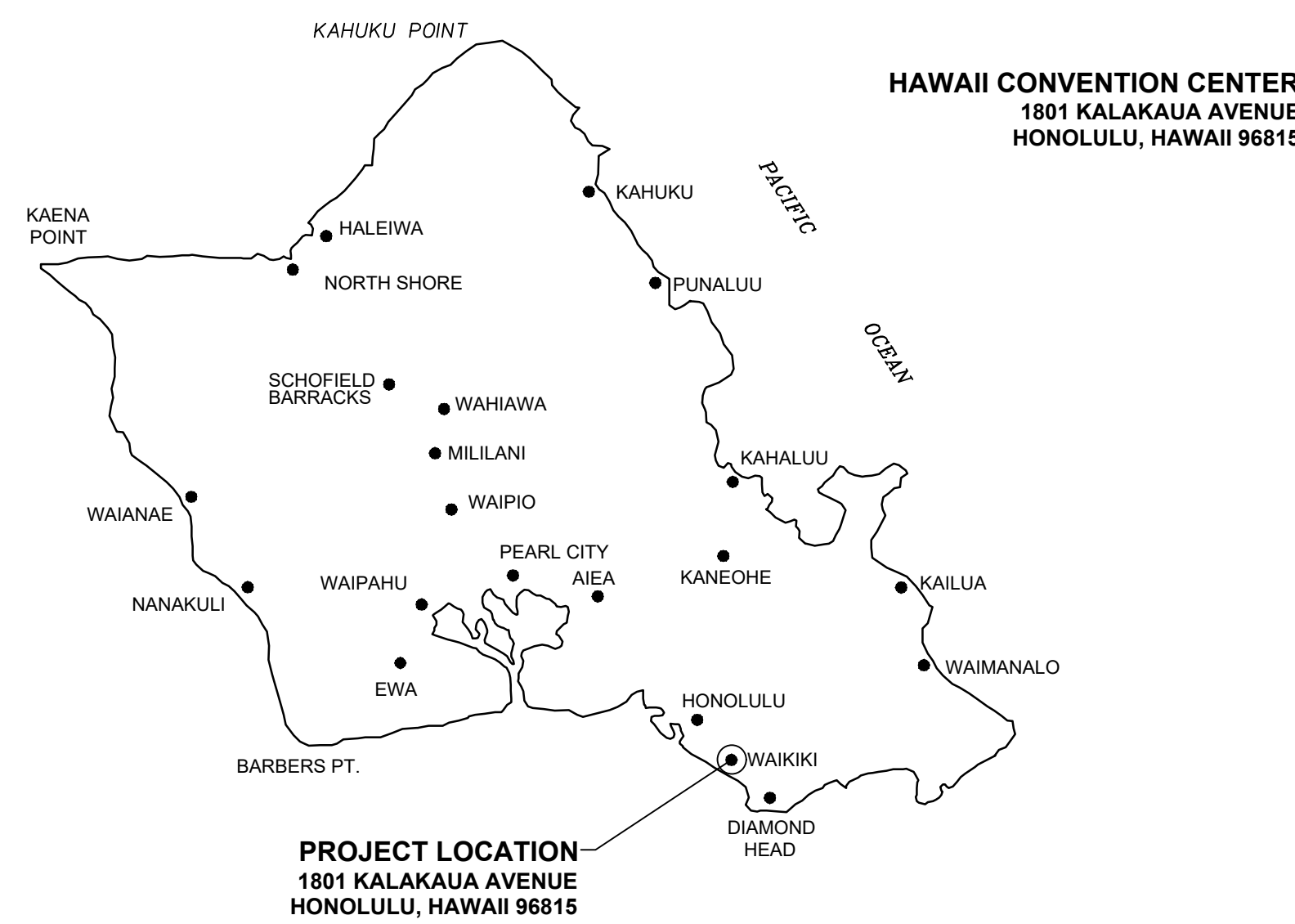
NO CHANGE TO OCCUPANCY, FLOOR AREA, PARKING, OR USE.

Sheet List Table

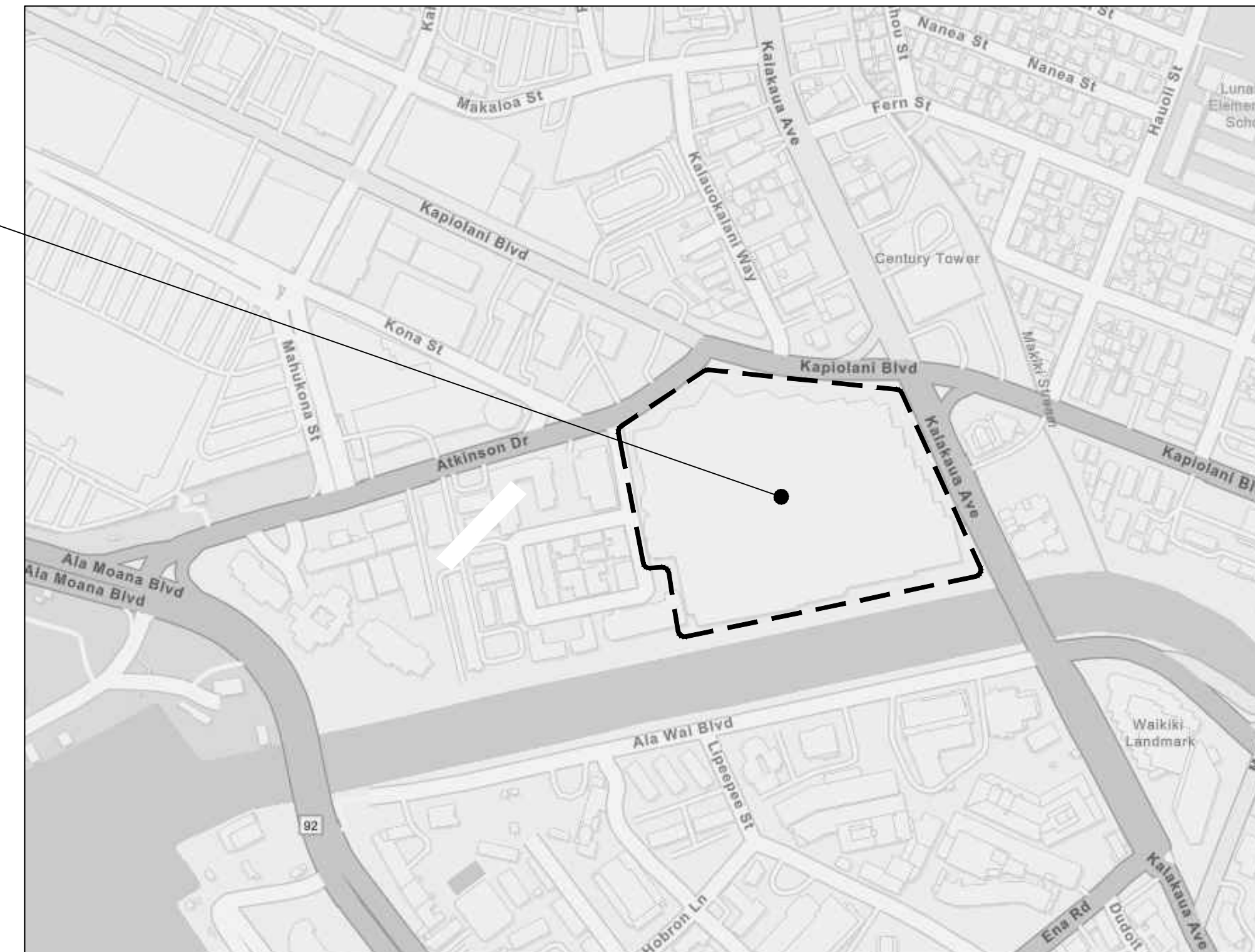
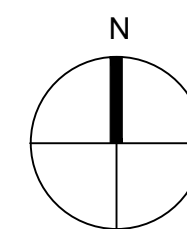
Sheet Number	Sheet Title
000	COVER SHEET
G001	GENERAL NOTES
G002	SITE PLAN
AD100	LEVEL 3 - DEMOLITION PLAN
A101	LEVEL 3 - NEW CONSTRUCTION PLAN
A111	LANAI - EXEC. MEETING RM. LVL 3
A112	LANAI - ALA HULA MAKAI CONCOURSE WEST LVL 3
A113	LANAI - ALA HULA MAKAI CONCOURSE EAST LVL 3
A500	DETAILS
S500	CONCRETE REPAIR DETAILS



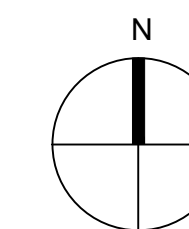
VIEW FROM ALA WAI BOULEVARD - IMAGE FROM GOOGLE MAP



VICINITY MAP
 NOT TO SCALE



LOCATION MAP
 NOT TO SCALE



Wiss, Janney, Elstner Associates, Inc.
 745 Fort Street, Suite 2200
 Honolulu, Hawaii 96813
 808.591.2728 tel | 808.591.2620 fax
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
 Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
 Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
 Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
 San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
 DECK WATERPROOFING AND
 SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
 Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
 Honolulu HI 96815

Mark	Date	Description



Project No. 2024.0984.0
 Date 05/17/2024
 Drawn AT
 Checked FX
 Scale As Noted

COVER SHEET

Sheet Title

Sheet No.

000

© Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.

Plot: 05/17/2024 11:52 AM by: Designer, Alex, File Name: P:\2024\09\04\09-04-10 - HCC - WATERPROOFING AND TILE TILE (FY2024 - Contribution Documents)1 - Drawings\Sheet\G001 - GENERAL.dwg

PURPOSE

THE SCOPE OF WORK INCLUDES THE FOLLOWING:
-REMOVAL OF EXISTING SLATE TILE FLOORING AND WATERPROOFING DOWN TO THE STRUCTURAL DECK.
-INSTALLATION OF NEW WATERPROOFING, MORTAR BED, AND SLATE TILE FLOORING.

DESIGN CRITERIA

BUILDING CODES AS ADOPTED BY CITY AND COUNTY OF HONOLULU INCLUDING:
2018 IBC - INTERNATIONAL BUILDING CODE WITH CITY AND COUNTY OF HONOLULU AMENDMENTS
2018 IEBC - INTERNATIONAL EXISTING BUILDING CODE

GENERAL NOTES

- 1. THE FOLLOWING GENERAL NOTES SUPPLEMENT PROJECT SPECIFICATIONS PROVIDED UNDER SEPARATE COVER. SEE PROJECT SPECIFICATIONS FOR FURTHER INFORMATION.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM THE ORIGINAL CONSTRUCTION DOCUMENTS AND ARE PROVIDED FOR INFORMATION ONLY.
3. CONTRACTOR SHALL VERIFY ALL QUANTITIES. QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY.
4. THE CONTRACTOR SHALL COORDINATE REQUIREMENTS AND PROVIDE PROOF OF INSURANCE PRIOR TO THE START OF WORK.
5. THERE SHALL BE COMPLETE COOPERATION BETWEEN THE GENERAL CONTRACTOR AND SUB-CONTRACTORS TO ENSURE SATISFACTORY PROGRESS AND PERFORMANCE OF THE WORK.
6. THE CONTRACTOR SHALL VERIFY EXISTING PLUMBING AND ELECTRICAL LINES AND EQUIPMENT THAT WILL BE ACCESSED AS PART OF WORK PERFORMED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT, LABOR, MATERIALS, AND COMPONENTS REQUIRED FOR THE TEMPORARY RELOCATION OF MECHANICAL/ELECTRICAL EQUIPMENT AND PLUMBING LINES DURING THE REPAIR WORK.
7. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND GOVERNMENT FEES AS REQUIRED. THE CONTRACTOR SHALL COMPLY WITH CODES, ORDINANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL REQUIREMENTS OF PUBLIC AUTHORITY, WHICH BEAR ON THE PERFORMANCE OF THE WORK.
8. CONTRACTOR SHALL PROMPTLY SUBMIT VERBAL AND WRITTEN NOTICE TO THE ARCHITECT/ENGINEER OF OBSERVED VARIANCE OF THE CONTRACT DOCUMENTS FROM ACTUAL ON-SITE CONDITIONS.
9. CONTRACTOR SHALL SUPPLY THE OWNER WITH MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH CHEMICAL THAT WILL BE BROUGHT ONTO THE JOB SITE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE OSHA HAZARD COMMUNICATION STANDARD
10. THE CONTRACTOR MUST SUBMIT DEMOLITION AND CONSTRUCTION SCHEDULES TO THE OWNER AND ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO BEGINNING DEMOLITION
11. THE PRODUCTS SPECIFIED ARE BELIEVED TO HAVE PROPERTIES ADEQUATE FOR SUCCESSFUL COMPLETION OF THE WORK. IF THE CONTRACTOR HAS FOUND THESE PRODUCTS TO BE UNACCEPTABLE OR HAS HAD DIFFICULTY USING THESE MATERIALS, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT/ENGINEER
12. CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF THE REPAIR WORK
13. WISS, JANNEY, ELSTNER ASSOCIATES, INC. (WJE) SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND SAFETY PROGRAMS IN CONNECTION WITH THE PROJECT. SINCE THESE ARE THE RESPONSIBILITY OF OTHERS, WJE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE PROJECT IN ACCORDANCE WITH CONTRACT DOCUMENTS. WJE SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER NON-WJE PERSONS PERFORMING PORTIONS OF THE PROJECT
14. THE EXISTING BUILDING MUST REMAIN IN OPERATION 100 PERCENT OF THE TIME. DEMOLITION REQUIRED SHALL PROCEED ONLY AT THE DIRECTION OF THE OWNER ACCORDING TO SCHEDULES AS MUTUALLY AGREED UPON. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONTROLS AS NECESSARY TO ALLOW FOR THE BUILDING OPERATIONS.
15. THE CONTRACTOR SHALL LIMIT ON-SITE STORAGE OF MATERIALS TO THOSE AREAS IDENTIFIED BY THE OWNER. THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER SITE WITH MATERIALS OR EQUIPMENT. THE MATERIALS AND EQUIPMENT SHALL BE CONFINED TO THE AREAS INDICATED IN THE CONTRACT DOCUMENTS OR BY THE DIRECTION OF THE OWNER OR ARCHITECT/ENGINEER. DO NOT LOAD STRUCTURE WITH WEIGHT THAT WILL ENDANGER STRUCTURE. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON PREMISES. CONTRACTOR SHALL MOVE ANY STORED MATERIAL OR PRODUCTS WHICH INTERFERE WITH OPERATIONS OF THE OWNER. CONTRACTOR SHALL STORE MATERIAL ONLY IN AREAS PROVIDED BY THE OWNER.
16. WATER AND ELECTRICITY MAY BE TAKEN FROM BUILDING FOR CONSTRUCTION PURPOSES ONLY AT AREAS IDENTIFIED ACCEPTABLE BY THE OWNER. TOILET FACILITIES IN BUILDING SHALL NOT BE USED BY THE CONTRACTOR.
17. CONTRACTOR SHALL PROVIDE AND MAINTAIN REQUIRED DUST BARRIERS, CANOPIES, BARRICADES, PROTECTION AND WARNING LIGHTS IN GOOD CONDITION UNTIL THE COMPLETION OF THE WORK REQUIRING SUCH PROTECTION AND THEN REMOVE THE SAME. ALL CANOPIES AND BARRICADES SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
18. THE CONTRACTOR SHALL MAINTAIN PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIAL AND RUBBISH.
19. THE CONTRACTOR IS TO RETURN DAMAGED AREAS TO ORIGINAL CONDITION.
20. THE CONTRACTOR SHALL PROTECT GROUNDS AND LANDSCAPING WHEN PERFORMING WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE TO GROUNDS AND LANDSCAPING AND BE REQUIRED TO REPAIR OR REPLACE AS NECESSARY.
21. CONTRACTOR SHALL COMPLY WITH ALL SECURITY PROCEDURES.
22. COSTS CAUSED BY ILL-TIMED WORK, DEFECTIVE WORK OR WORK NOT CONFORMING TO THE CONTRACT DOCUMENTS, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
23. DO NOT STOCKPILE CONSTRUCTION MATERIAL IN A MANNER THAT WILL OVERLOAD OR EXCEED THE CAPACITY OF THE STRUCTURAL MEMBERS.
24. THE CONTRACTOR AND HIS RESPECTIVE SUBCONTRACTORS SHALL EACH HAVE FIVE OR MORE YEARS EXPERIENCE PERFORMING REPAIR WORK SIMILAR IN SIZE, TYPE, AND COMPLEXITY TO WHAT IS SHOWN IN THE CONTRACT DOCUMENTS.
25. ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG EMPLOYEES. DO NOT EMPLOY UNFIT PERSONS OR PERSONS NOT SKILLED IN THE ASSIGNED TASK.
26. WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
27. ALL CONSTRUCTION SHALL BE SUBJECT TO REVIEW BY THE ARCHITECT/ENGINEER BEFORE IT IS CONCEALED FROM VIEW. COORDINATE EXPECTED REVIEW ITEMS WITH THE ARCHITECT/ENGINEER PRIOR TO THE START OF CONSTRUCTION AND PROVIDE REASONABLE NOTIFICATION TO THE ARCHITECT/ENGINEER TO ALLOW FOR SUCH REVIEW AS THE WORK PROCEEDS.
28. REMOVE AND DISPOSE OF IN A PROPER MANNER (OFF-SITE) ALL EXISTING MATERIAL REMOVED FROM THE BUILDING DURING THE COURSE OF THE WORK ON A DAILY BASIS. REMOVAL AND DISPOSAL SHALL BE SATISFACTORY TO THE ARCHITECT/ENGINEER AND OWNER

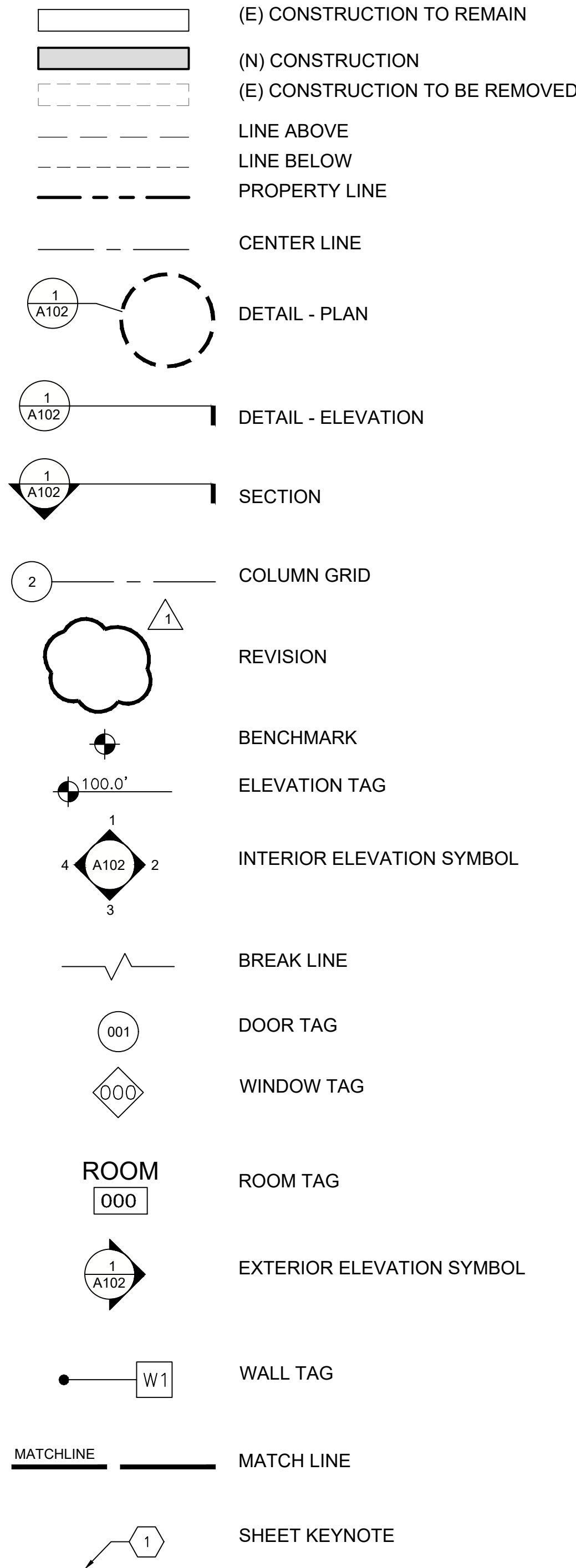
- 29. CONTRACTOR SHALL COORDINATE USE OF PREMISES UNDER THE DIRECTION OF THE OWNER. TEMPORARY DISRUPTIONS TO THE USE OF THE BUILDING BY EMPLOYEES AND PUBLIC, INCLUDING NOISE, DUST AND DISRUPTION OF UTILITIES, SHALL BE COORDINATED A MINIMUM OF 48 HOURS IN ADVANCE AND APPROVED BY THE OWNER. CONTRACTOR WORK NOT COORDINATED IN ADVANCE WHICH CAUSES DISRUPTIONS TO THE USE OF THE BUILDING BY EMPLOYEES AND PUBLIC MAY BE STOPPED BY THE OWNER AND SHALL NOT BE COMMENCED AGAIN UNTIL PROPER COORDINATION IS ACHIEVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM WORK STOPPAGES OR DELAYS CAUSED BY CONTRACTORS LACK OF COORDINATION WITH THE OWNER.
30. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WATER TIGHTNESS OF THE AREAS OF THE STRUCTURE BEING WORKED ON DURING THE COURSE OF THE WORK. PROVIDE TEMPORARY PROTECTION OF THE EXISTING CONSTRUCTION FROM THE WEATHER UNTIL REMOVED PORTIONS ARE COMPLETELY REPLACED WITH NEW CONSTRUCTION. THE COST OF DAMAGE AND REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.

ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations including: A (Anchor Bolt), B (Board), C (Channel Steel Shape), D (Dial), E (Existing), F (Foundation), G (Gauge), H (Horizontal), I (Inside Diameter), J (Junction), K (Kiln Dried), L (Long Leg Horizontal), M (Material), N (North), O (On Center), P (Piece), R (Radius), S (Steel Shape), T (Top and Bottom), U (Unless Otherwise Noted), V (Vertical), W (Wide Flange Steel Shape).

Table of special characters including: & (Working Without Work Point), @ (Center Line), Ø (Diameter or Round), # (Plate or Property Line), ± (Tolerance).

SYMBOLS



Wiss, Janney, Elstner Associates, Inc.
745 Fort Street, Suite 2200
Honolulu, Hawaii 96813
808.591.2728 tel | 808.591.2620 fax
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

HAWAII CONVENTION CENTER - DECK WATERPROOFING AND SLATE TILE REPLACEMENT

1801 Kalakaua Avenue
Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
Honolulu HI 96815

Mark Date Description



Project No. 2024.0984.0
Date 05/17/2024
Drawn AT
Checked FX
Scale As Noted

GENERAL NOTES

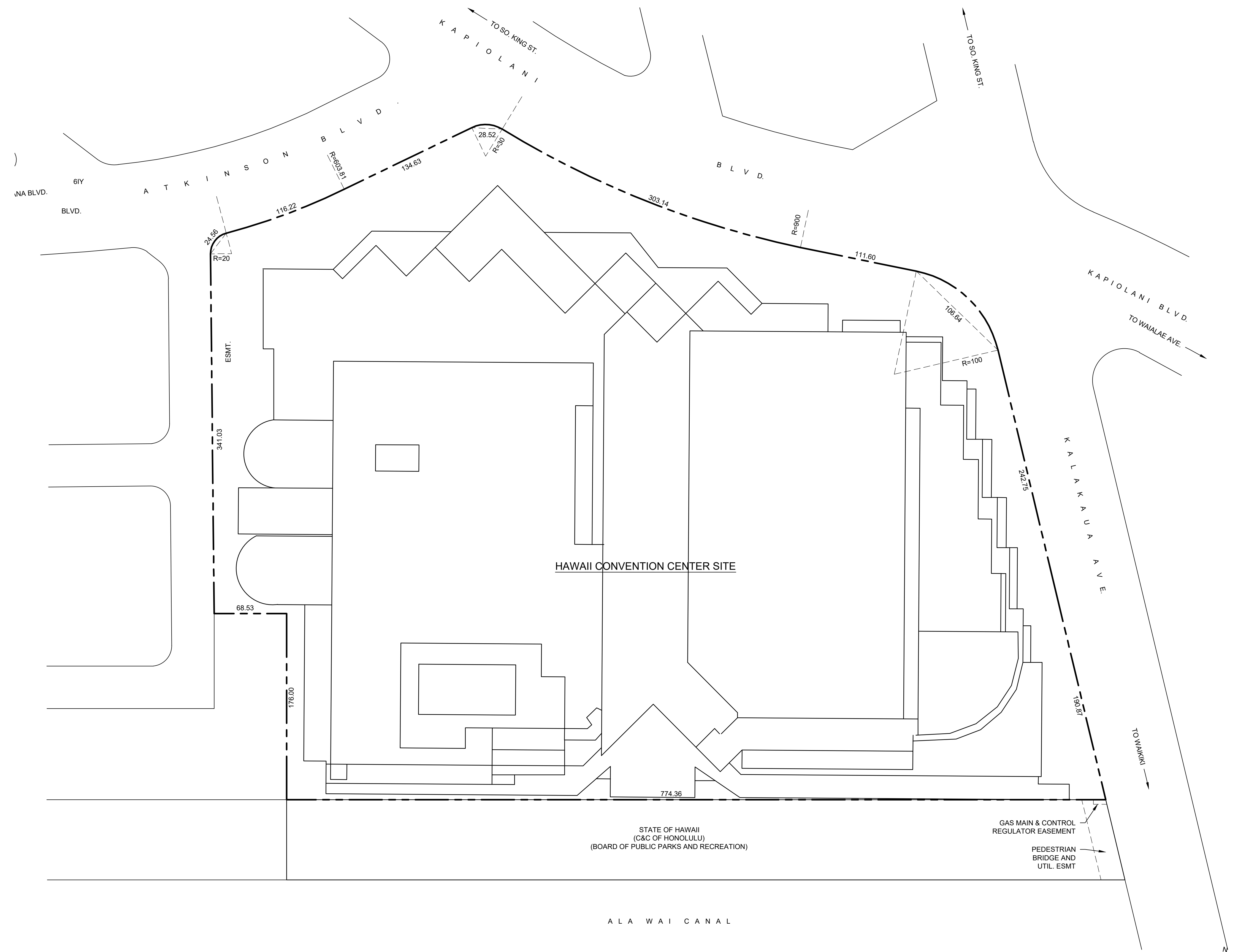
Sheet Title

Sheet No.

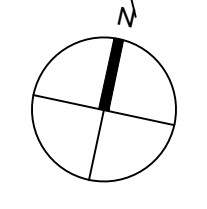
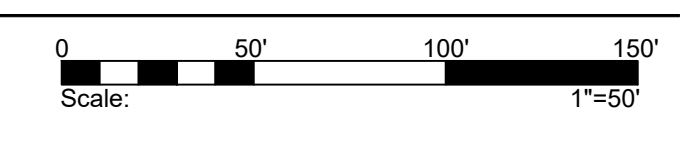
G001

© Copyright 2024. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE assumes no responsibility for its construction cost.

© Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.



1 SITE PLAN
 SCALE: 1" = 50'



Wiss, Janney, Elstner Associates, Inc.
 745 Fort Street, Suite 2200
 Honolulu, Hawaii 96813
 808.591.2728 tel | 808.591.2620 fax
 www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
 Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
 Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
 Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
 San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
 DECK WATERPROOFING AND
 SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
 Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
 Honolulu HI 96815

Mark	Date	Description



Project No. **2024.0984.0**

Date **05/17/2024**

Drawn **AT**

Checked **FX**

Scale **As Noted**

SITE PLAN

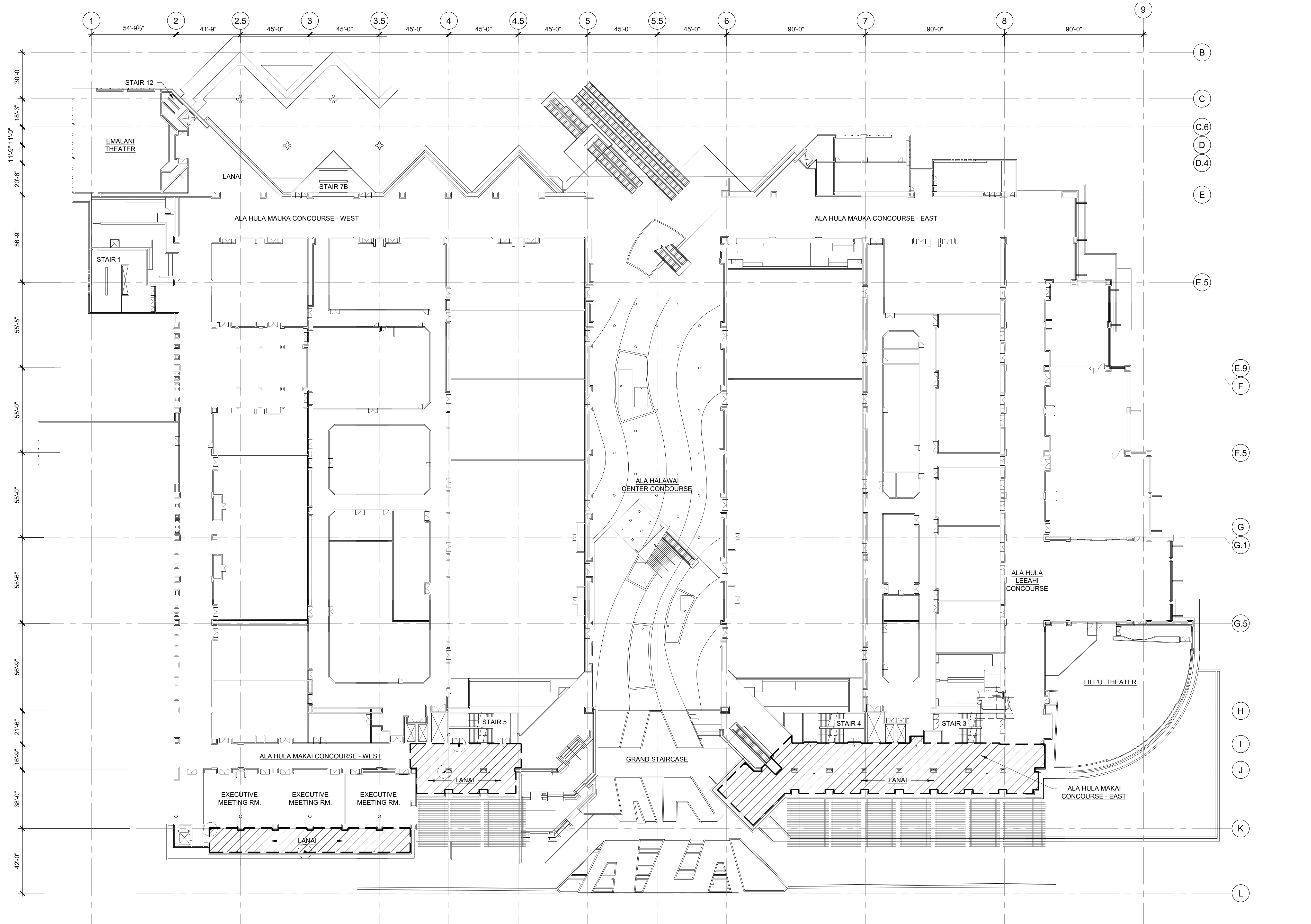
Sheet Title

Sheet No.

G002

Plotted: 2/26/2024 11:23:44 AM by: Tolemba, Aris. File Name: P:\2024\2024_000\2024_0984_0_HCC - WATERPROOFING AND TILE (FX)05 Construction Documents\Drawings\Sheet\AD100 LEVEL 3 - DEMOLITION PLAN.dwg


© Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.



1 LEVEL 3 - DEMOLITION PLAN

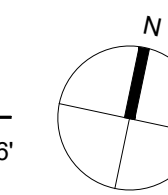
SCALE: 1/32" = 1'-0"

LEGEND:

 REMOVE EXISTING TILES, MORTAR, GROUT, AND WATERPROOFING DOWN TO STRUCTURAL CONCRETE DECK. AT AREAS OF REMOVAL ADJACENT TO EXISTING TILE, LEAVE A 12" LENGTH OF EXISTING WATERPROOFING MEMBRANE FORM TIE-IN WITH NEW WATERPROOFING. (SEE DETAIL 3/A500)

GENERAL NOTES:

- 1. CONTRACTORS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. DRAWINGS ARE BASED ON EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. NOTIFY DESIGNER IF FIELD CONDITIONS DO NOT MATCH THE CONDITIONS IN THE DRAWINGS.
- 2. CONTRACTOR IS RESPONSIBLE FOR SAFELY DISPOSING OF ALL MATERIAL PER CITY, STATE, AND FEDERAL REGULATIONS.
- 3. DO NOT OVERLOAD THE DECK WITH STACKED/PILED MATERIALS.
- 4. PROTECT ALL EXISTING FINISHES AND FURNISHINGS
- 5. HCC TO REMAIN IN OPERATION DURING CONSTRUCTION. CONTRACTOR TO COORDINATE ACCESS TO FACILITIES WITH OWNER THROUGHOUT ALL PHASES OF WORK.



Wiss, Janney, Elstner Associates, Inc.
745 Fort Street, Suite 2200
Honolulu, Hawaii 96813
808.591.2728 tel
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
DECK WATERPROOFING AND
SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
Honolulu HI 96815

Mark Date Description

THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)

Project No.	2024.0984.0
Date	05/17/2024
Drawn	AT
Checked	FX
Scale	As Noted

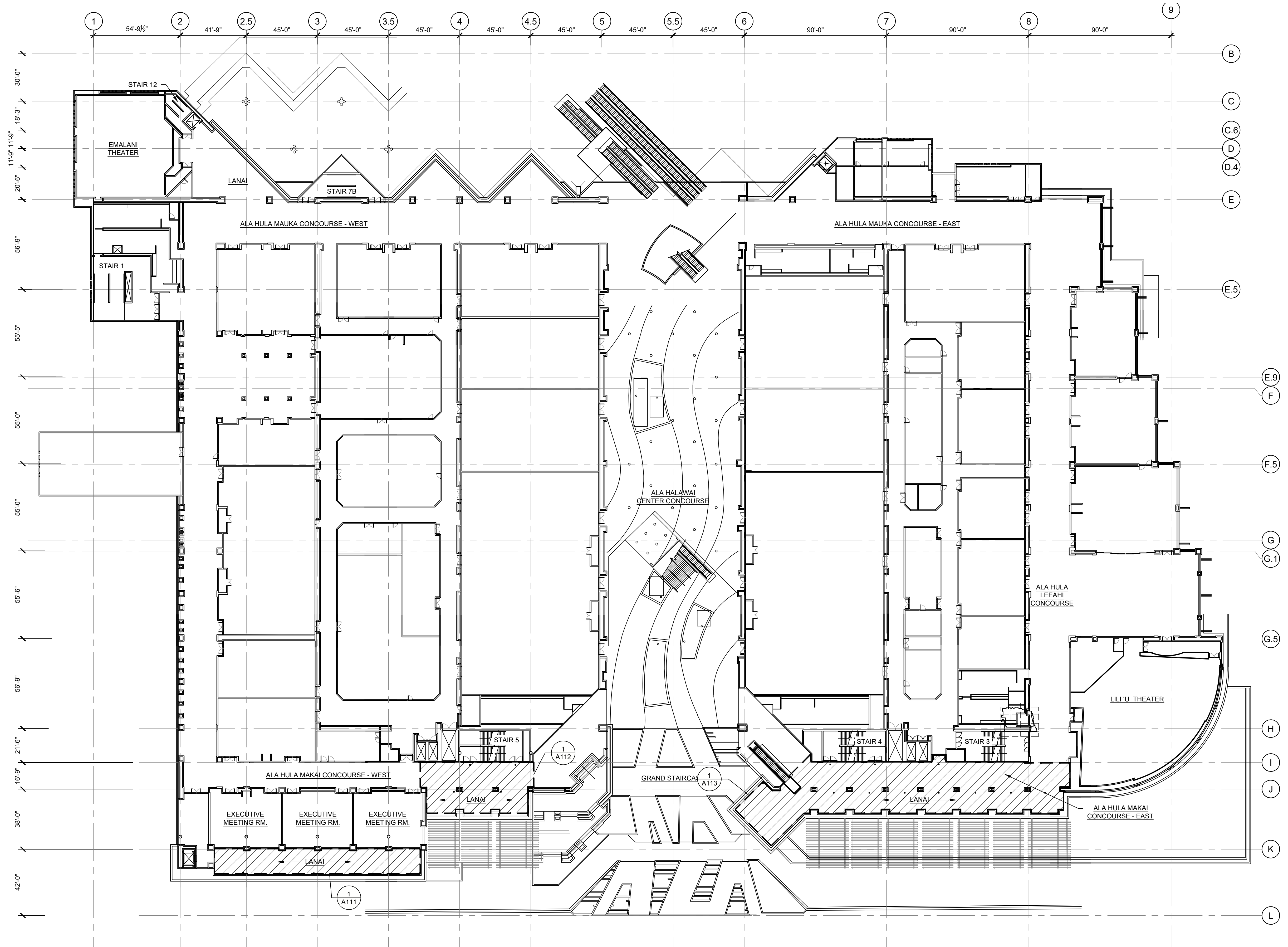
**LEVEL 3 - DEMOLITION
PLAN**

Sheet Title


Sheet No.

AD100

Printed: 02/26/2024 11:24 AM by Tolentino, Aris. File Name: P:\2024\0224\0224\0224\0984-0 - HCC - WATERPROOFING AND TILE FINISH Construction Documents\Drawings\Sheet\A101 - NEW CONSTRUCTION PLAN.rvt

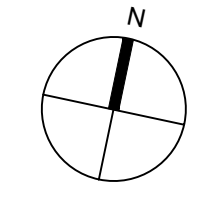
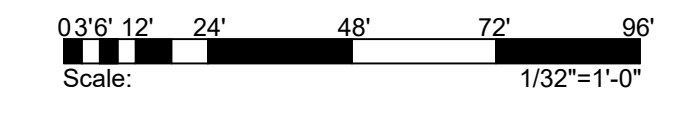


1 LEVEL 3 - NEW CONSTRUCTION PLAN
SCALE: 1/32" = 1'-0"

LEGEND:
 INSTALL NEW WATERPROOFING AND TILE FLOORING SYSTEM.

GENERAL NOTES:

1. CONTRACTORS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. DRAWINGS ARE BASED ON EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. NOTIFY DESIGNER IF FIELD CONDITIONS DO NOT MATCH THE CONDITIONS IN THE DRAWINGS.
2. CONTRACTOR IS RESPONSIBLE FOR SAFELY DISPOSING OF ALL MATERIAL PER CITY, STATE, AND FEDERAL REGULATIONS.
3. DO NOT OVERLOAD THE DECK WITH STACKED/PILED MATERIALS.
4. PROTECT ALL EXISTING FINISHES AND FURNISHINGS
5. HCC TO REMAIN IN OPERATION DURING CONSTRUCTION. CONTRACTOR TO COORDINATE ACCESS TO FACILITIES WITH OWNER THROUGHOUT ALL PHASES OF WORK.



Wiss, Janney, Elstner Associates, Inc.
 745 Fort Street, Suite 2200
 Honolulu, Hawaii 96813
 808.591.2728 tel
 www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
 Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
 Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
 Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
 San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
 DECK WATERPROOFING AND
 SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
 Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
 Honolulu HI 96815

Mark	Date	Description

THIS SHEET PLOTS FULL SIZE AT SCALE (INCHES)

Project No. 2024.0984.0

Date 05/17/2024

Drawn AT

Checked FX

Scale As Noted

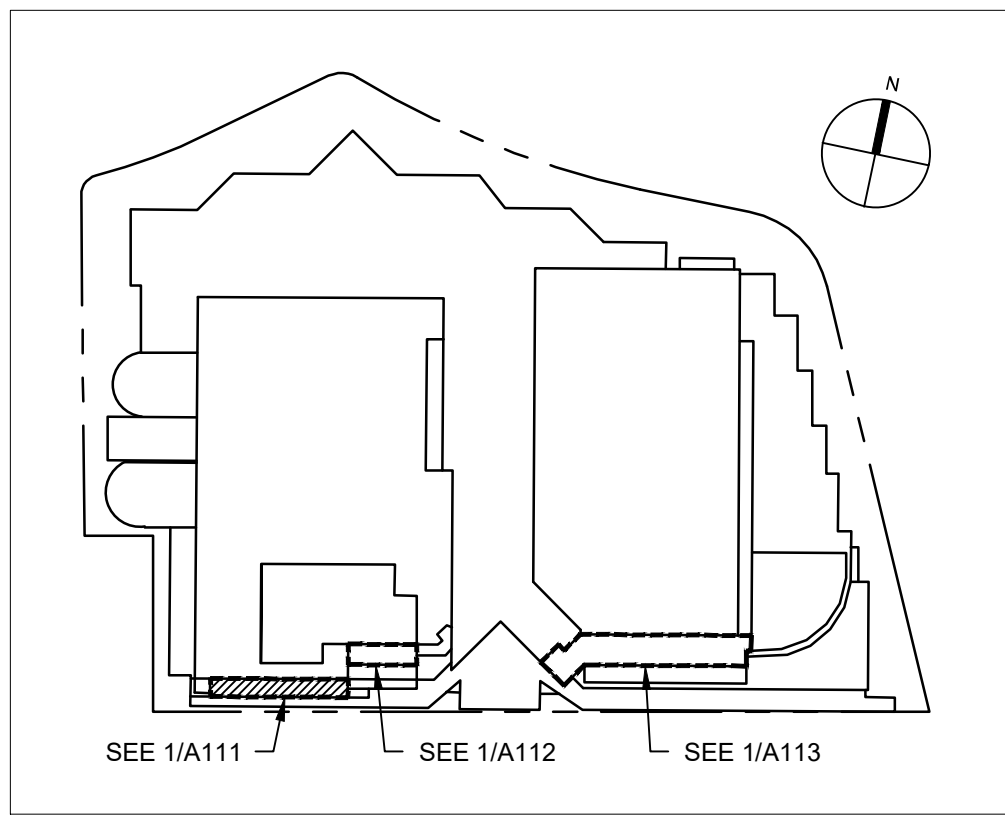
**LEVEL 3 - NEW
 CONSTRUCTION PLAN**

Sheet Title

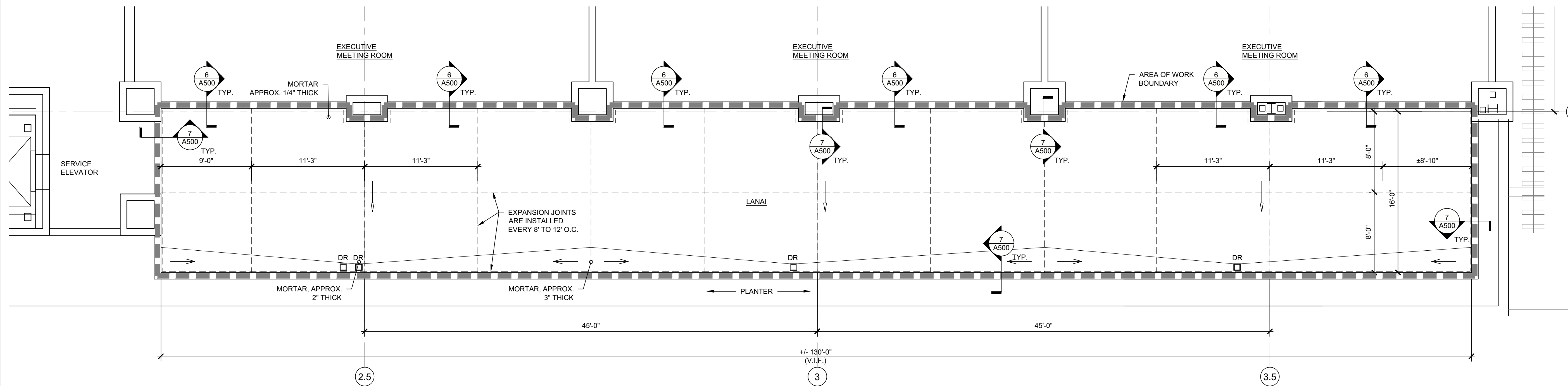
Sheet No.

A101

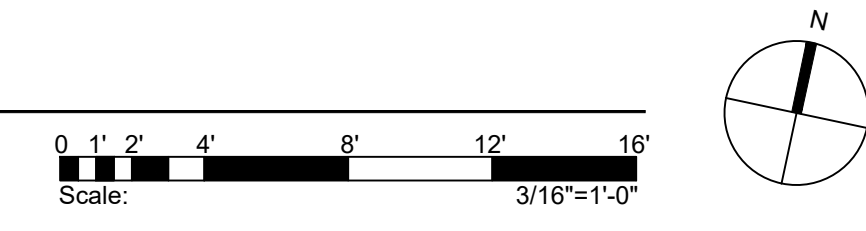
Project: 05/2024 11:24 AM by Teodoro, Alex File Name: P:\2024\024\05\2024\0984.0 - HCC - WATERPROOFING AND TILE (FY)05 Construction Documents\01 Drawings\Sheets\A111 LANAI - EXEC. MEETING RM. LVL 3.dwg
 © Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.



KEY PLAN
SCALE: NOT TO SCALE



1 LANAI - EXEC. MEETING RM. LVL 3
SCALE: 3/16" = 1'-0"



- LEGEND:**
- INSTALL NEW WATERPROOFING, MORTAR, TILE, AND GROUT PER 1/A500 and 2/A500. NEW TILE LAYOUT PATTERN TO MATCH EXISTING.
 - EXPANSION JOINT IN TILE. SEE DETAIL 2/A500
 - EXISTING AREA DRAIN. SEE DETAIL 5/A500
 - EXISTING DECK SLOPE
 - CRICKET SLOPE

- GENERAL NOTES:**
1. CONTRACTORS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. DRAWINGS ARE BASED ON EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. NOTIFY DESIGNER IF FIELD CONDITIONS DO NOT MATCH THE CONDITIONS IN THE DRAWINGS.
 2. DO NOT OVERLOAD THE DECK WITH STACKED/PILED MATERIALS.
 3. PROTECT ALL EXISTING FINISHES AND FURNISHINGS



Wiss, Janney, Elstner Associates, Inc.
745 Fort Street, Suite 2200
Honolulu, Hawaii 96813
808.591.2728 tel
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project
**HAWAII CONVENTION CENTER -
DECK WATERPROOFING AND
SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client
AEG Management HCC, LLC

1801 Kalakaua Avenue
Honolulu HI 96815

Mark	Date	Description

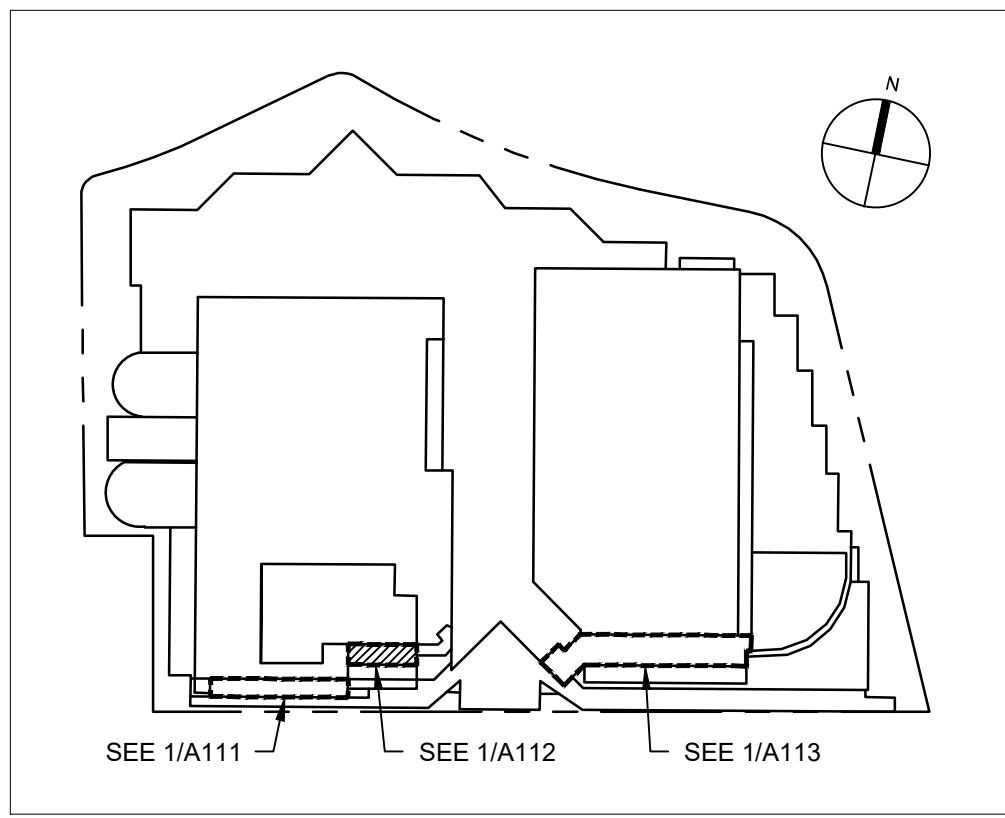
Project No. **2024.0984.0**
Date **05/17/2024**
Drawn **AT**
Checked **FX**
Scale **As Noted**

**LANAI - EXEC.
MEETING RM. LVL 3**

Sheet Title

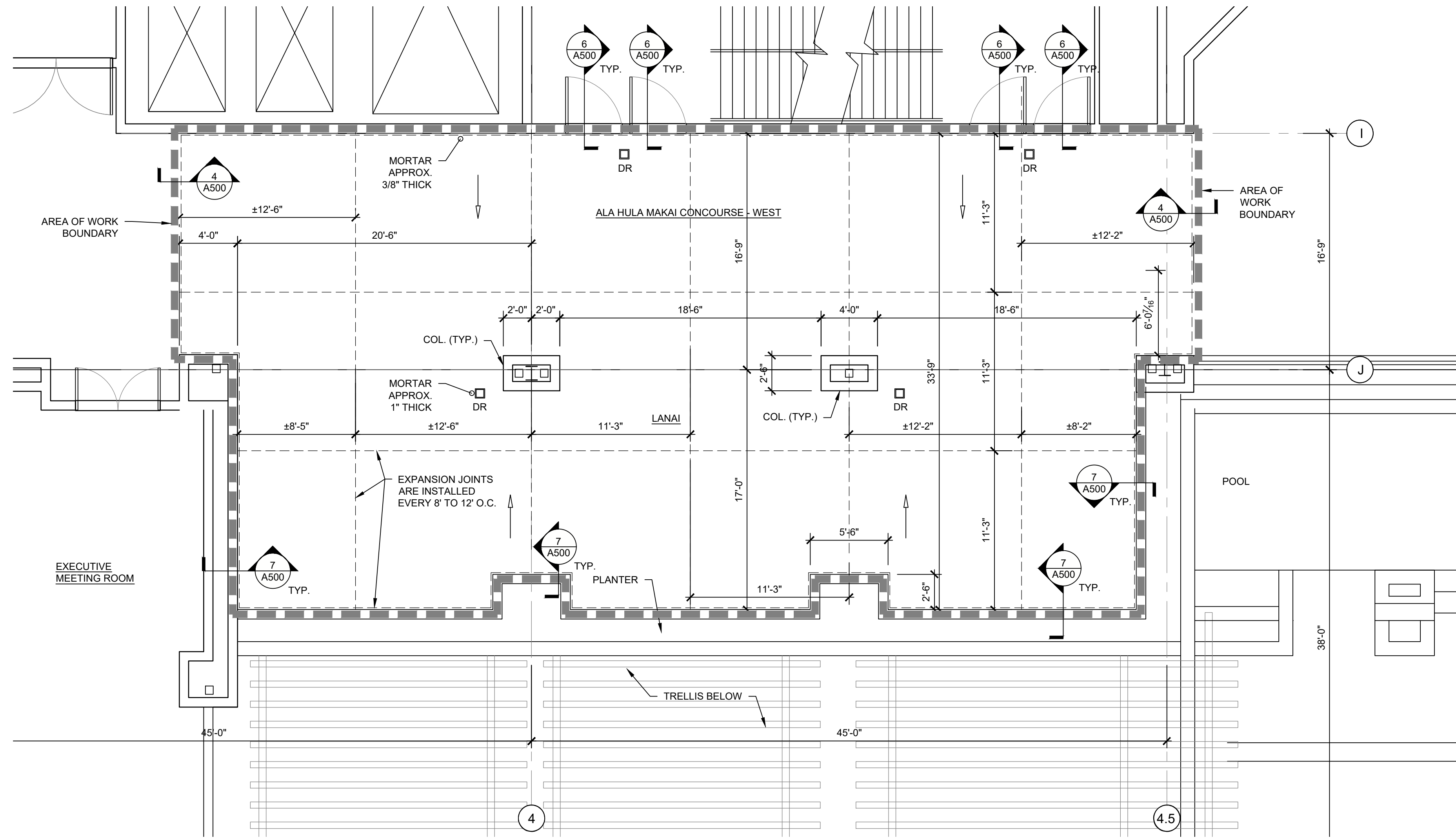
Sheet No. **A111**

Public: 8/25/2024 11:24 AM by Tolentino, Alex File Name: P:\2024\2024_0984_0_HCC-WATERPROOFING AND TILE (FX)08 Construction Documents\Drawings\Sheet\121 LANAI - ALA HULA MAKAI CONCOURSE WEST LVL 3.dwg
 © Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.



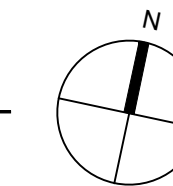
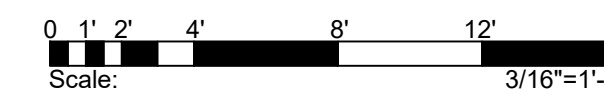
KEY PLAN

SCALE: NOT TO SCALE



1 LANAI - ALA HULA MAKAI CONCOURSE WEST LVL 3

SCALE: 3/16"=1'-0"



LEGEND:

- INSTALL NEW WATERPROOFING, MORTAR, TILE, AND GROUT PER 1/A500 and 2/A500. NEW TILE LAYOUT PATTERN TO MATCH EXISTING.
- EXPANSION JOINT IN TILE. SEE DETAIL 2/A500
- EXISTING AREA DRAIN, SEE DETAIL 5/A500
- EXISTING DECK SLOPE

GENERAL NOTES:

1. CONTRACTORS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. DRAWINGS ARE BASED ON EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. NOTIFY DESIGNER IF FIELD CONDITIONS DO NOT MATCH THE CONDITIONS IN THE DRAWINGS.
2. DO NOT OVERLOAD THE DECK WITH STACKED/PILED MATERIALS.
3. PROTECT ALL EXISTING FINISHES AND FURNISHINGS



Wiss, Janney, Elstner Associates, Inc.
 745 Fort Street, Suite 2200
 Honolulu, Hawaii 96813
 808.591.2728 tel
 www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
 Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
 Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
 Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
 San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
 DECK WATERPROOFING AND
 SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
 Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
 Honolulu HI 96815

Mark	Date	Description

TWO SHEET PLOTS FULL SIZE
 AT 24x36 (INCHES)

Project No. 2024.0984.0

Date 05/17/2024

Drawn AT

Checked FX

Scale As Noted

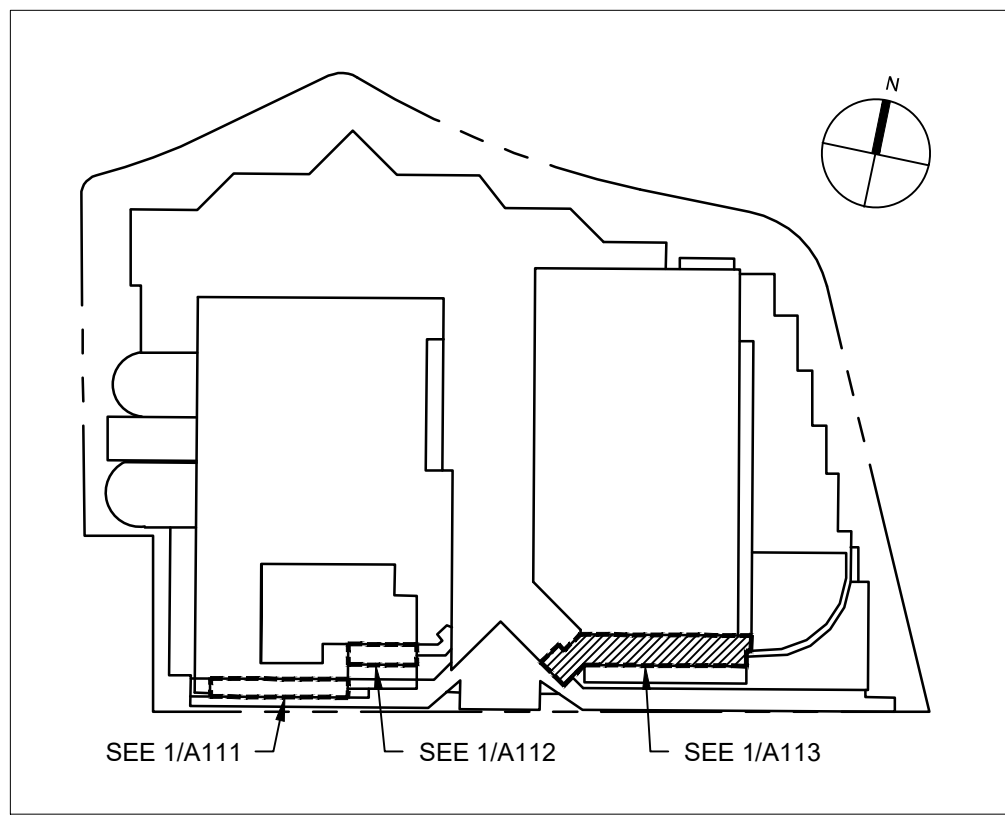
**LANAI - ALA HULA
 MAKAI CONCOURSE
 WEST LVL 3**

Sheet Title

Sheet No.

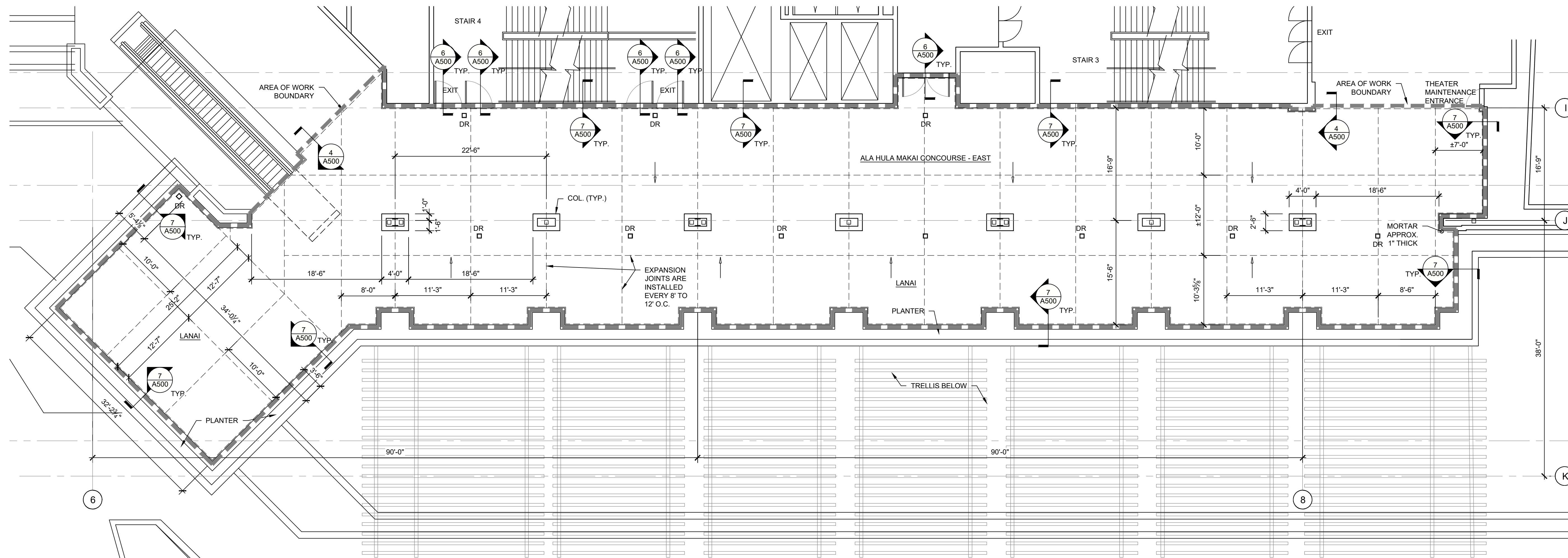
A112

Public: 8/25/2024 11:25 AM by Tolentino, Aries File Name: P:\2024\2024_0984_0_HCC - WATERPROOFING AND TILE (FX)08 Construction Document\01 Drawings\Sheet\A113 LANAI - ALA HULA MAKAI CONCOURSE EAST LVL 3.dwg
 Private: 8/25/2024 11:25 AM by Tolentino, Aries File Name: P:\2024\2024_0984_0_HCC - WATERPROOFING AND TILE (FX)08 Construction Document\01 Drawings\Sheet\A113 LANAI - ALA HULA MAKAI CONCOURSE EAST LVL 3.dwg
 © Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its use without its consent.



KEY PLAN

SCALE: NOT TO SCALE



1 LANAI - ALA HULA MAKAI CONCOURSE EAST LVL 3

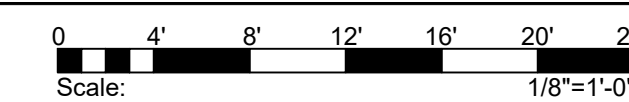
SCALE: 1/8" = 1'-0"

LEGEND:

- INSTALL NEW WATERPROOFING, MORTAR, TILE, AND GROUT PER 1/A500 AND 2/A500. NEW TILE LAYOUT PATTERN TO MATCH EXISTING.
- EXPANSION JOINT IN TILE. SEE DETAIL 2/A500
- EXISTING AREA DRAIN. SEE DETAIL 5/A500
- EXISTING DECK SLOPE

GENERAL NOTES:

1. CONTRACTORS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. DRAWINGS ARE BASED ON EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. NOTIFY DESIGNER IF FIELD CONDITIONS DO NOT MATCH THE CONDITIONS IN THE DRAWINGS.
2. DO NOT OVERLOAD THE DECK WITH STACKED/PILED MATERIALS.
3. PROTECT ALL EXISTING FINISHES AND FURNISHINGS



Wiss, Janney, Elstner Associates, Inc.
 745 Fort Street, Suite 2200
 Honolulu, Hawaii 96813
 808.591.2728 tel
 www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
 Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
 Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
 Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
 San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
 DECK WATERPROOFING AND
 SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
 Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
 Honolulu HI 96815

Mark	Date	Description



Project No. 2024.0984.0

Date 05/17/2024

Drawn AT

Checked FX

Scale As Noted

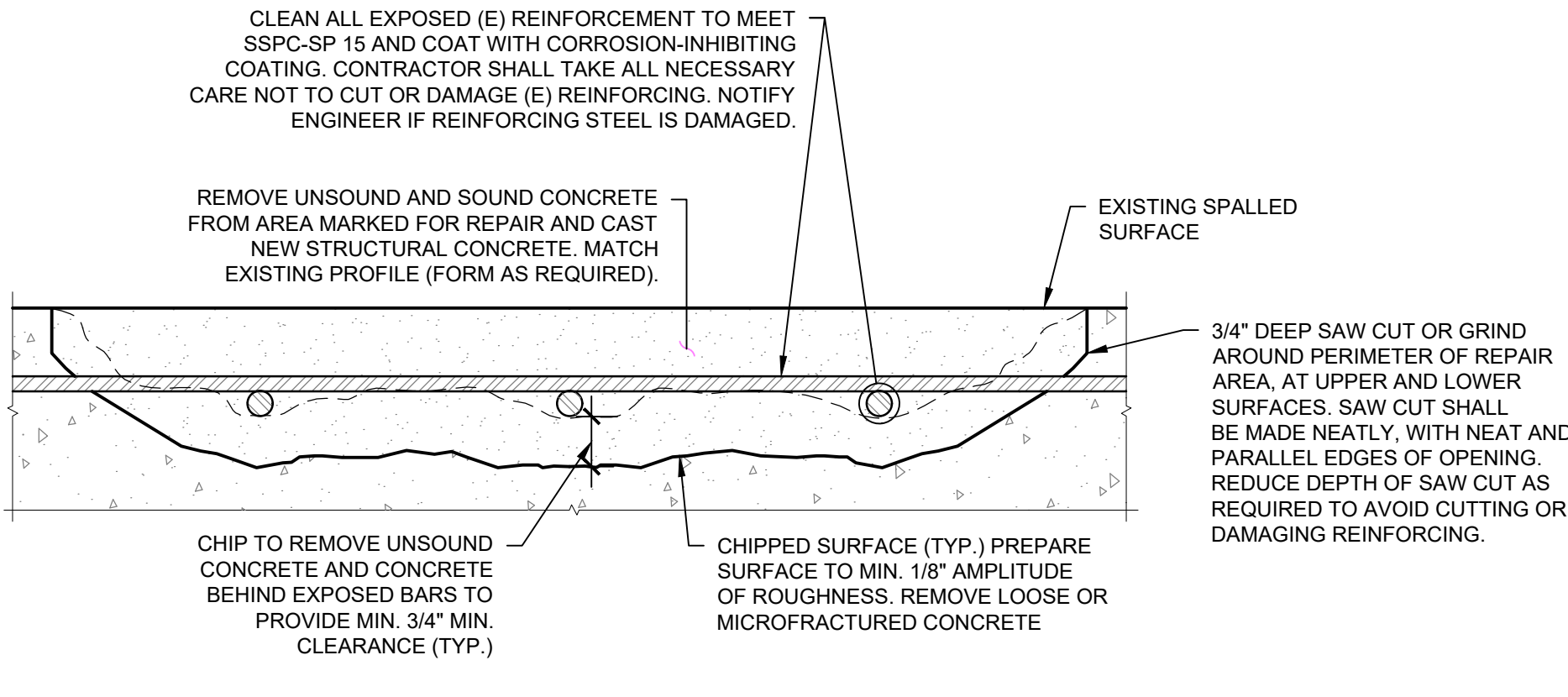
**LANAI - ALA HULA
 MAKAI CONCOURSE
 EAST LVL 3**

Sheet Title

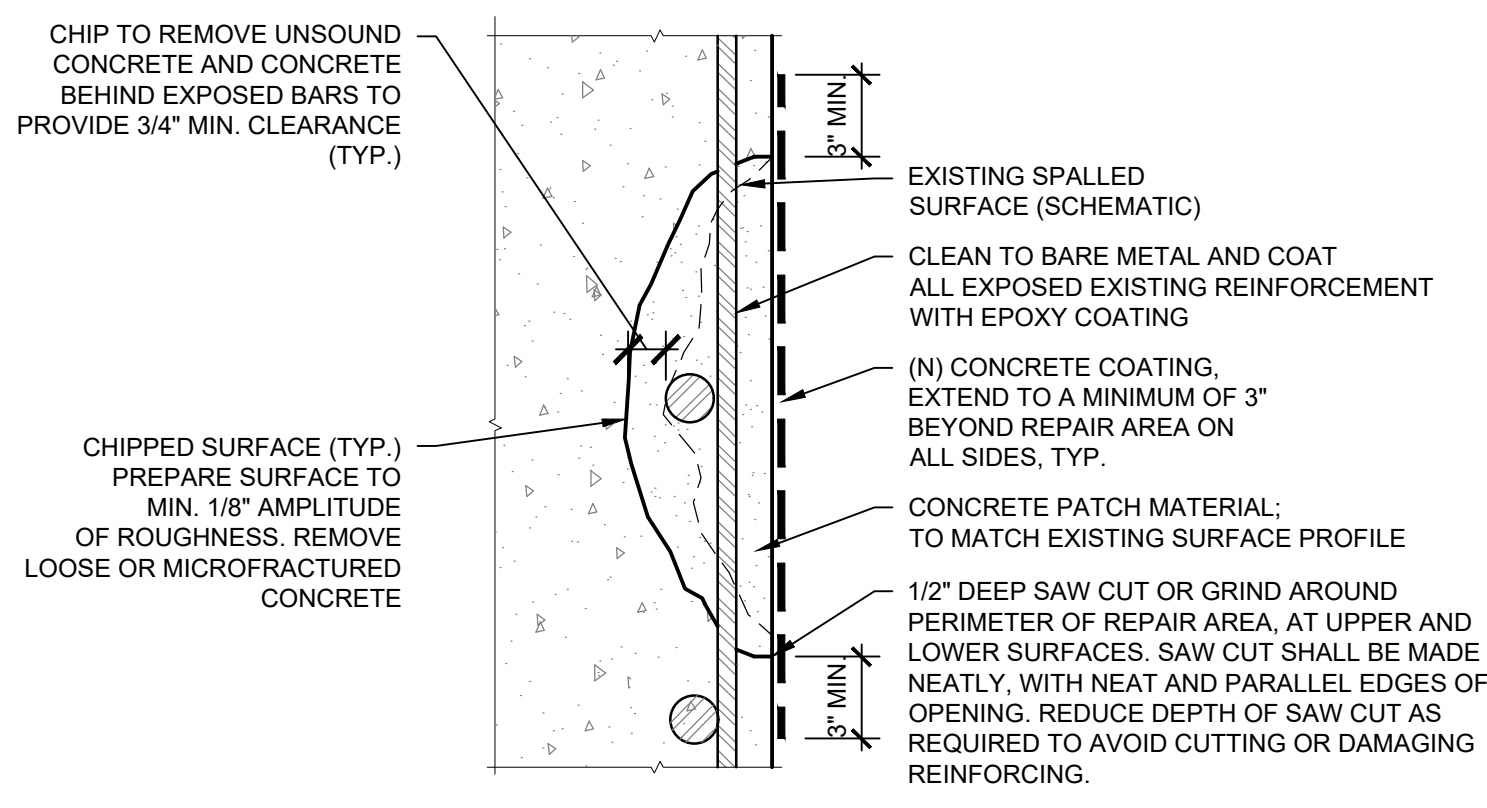
Sheet No.

A113

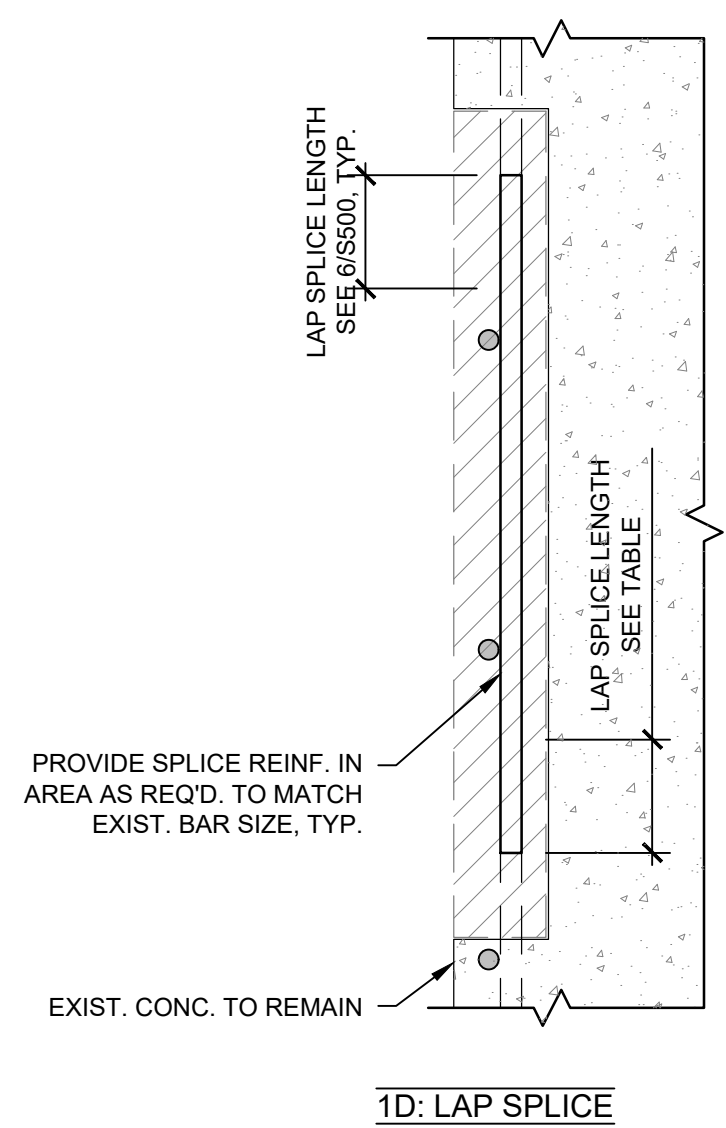
© Copyright 2024. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its use without its consent.



1 HORIZONTAL SPALL REPAIR
SCALE: N.T.S.



2 VERTICAL SPALL REPAIR
SCALE: N.T.S.



3 LAP SPLICE
SCALE: N.T.S.

TOP BARS - 90° HOOK EMBEDMENT AND CLASS B TENSION LAP SPLICE FOR GRADE 60 REINF.

BAR SIZE	2,500 PSI		3,000 PSI		4,000 PSI		5,000 PSI	
	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)
#3	9	31	9	28	8	25	7	22
#4	12	41	11	38	10	33	9	29
#5	15	51	14	47	12	41	11	36
#6	18	61	17	56	15	49	13	44
#7	21	89	20	81	17	71	15	63
#8	24	102	22	93	19	81	17	72
#9	27	115	25	105	22	91	20	81

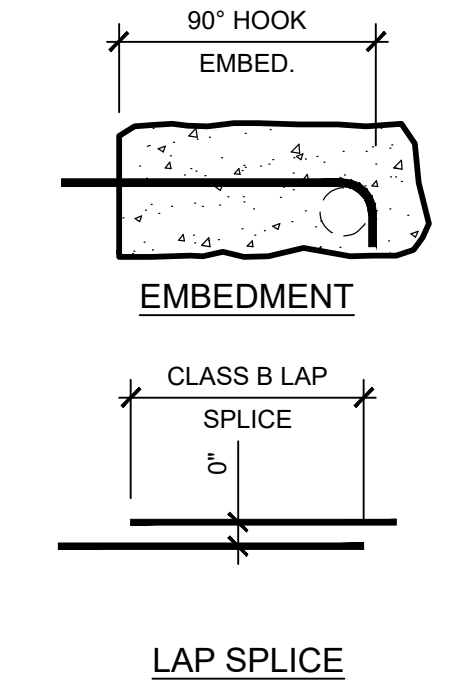
OTHER BARS 90° HOOK EMBEDMENT AND CLASS B TENSION LAP SPLICE FOR GRADE 60 REINF.

BAR SIZE	2,500 PSI		3,000 PSI		4,000 PSI		5,000 PSI	
	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)	EMBED. (IN)	CLASS B (IN)
#3	9	24	9	22	8	19	7	17
#4	12	32	11	29	10	25	9	23
#5	15	39	14	36	12	31	11	28
#6	18	47	17	43	15	37	13	34
#7	21	69	20	63	17	54	15	49
#8	24	78	22	72	19	62	17	56
#9	27	88	25	81	22	70	20	63

- NOTES:
- TOP BARS = HORIZONTAL BARS (OTHER THAN IN WALLS) PLACED WITH MORE THAN 12" OF FRESH CONCRETE IS CAST BELOW THEM. SEE DET. 3/S100
 - ABOVE TABLES ARE BASED UPON MINIMUM CLEAR COVER GREATER THAN 1.0db AND MINIMUM CLEAR SPACING GREATER THAN 2db. WHERE EITHER OF THESE REQUIREMENTS IS NOT MET, INCREASE THE EMBEDMENT OR LAP LENGTH BY 50%.
 - USE CLASS B LAP SPLICE FOR ALL BAR SPLICES TYP.
 - FOR ADDITIONAL INFORMATION SEE DET. 3/S100

4 LAP SPLICE LENGTH TABLE
SCALE: N.T.S.

- NOTES:
- TOP BARS = HORIZONTAL BARS (OTHER THAN IN WALLS) PLACED WITH MORE THAN 12" OF FRESH CONCRETE IS CAST BELOW THEM.
 - ABOVE TABLES ARE BASED UPON MINIMUM CLEAR COVER GREATER THAN 1.0db AND MINIMUM CLEAR SPACING GREATER THAN 2db. WHERE EITHER OF THESE REQUIREMENTS IS NOT MET, INCREASE THE EMBEDMENT OR LAP LENGTH BY 50%.
 - USE CLASS B LAP SPLICE FOR ALL BAR SPLICES TYP.



BAR No.	DIAMETER (IN.)	AREA (IN. ²)	BAR DIA. WITH 10% SECTION LOSS	
			CIRCUMFERENTIAL LOSS (IN.)	ONE-SIDE LOSS (IN.)
3	0.375	0.110	0.356	0.315
4	0.500	0.196	0.474	0.420
5	0.625	0.307	0.593	0.525
6	0.750	0.442	0.712	0.625
7	0.875	0.601	0.830	0.735
8	1.000	0.785	0.949	0.835
9	1.128	0.999	1.070	0.945
10	1.270	1.267	1.205	1.060
11	1.410	1.561	1.338	1.180

10% SECTION LOSS

- SHEET NOTES:
- CONTRACTOR TO NOTIFY A/E IF ANY EXPOSED REINFORCEMENT IS MEASURED TO BE REDUCED IN CROSS SECTIONAL AREA BY MORE THAN 10%. SEE DETAIL 5/S500 FOR SECTION LOSS REFERENCE TABLE.
 - SEE DETAIL 6/S500 FOR LAP SPLICE DETAIL IF INSTRUCTED BY THE A/E FOR SUPPLEMENTAL REINFORCEMENT

5 SECTION LOSS TABLE
SCALE: N.T.S.



Wiss, Janney, Elstner Associates, Inc.
745 Fort Street, Suite 2200
Honolulu, Hawaii 96813
808.591.2728 tel
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles
Milwaukee | Minneapolis | New Haven | Northbrook (HQ) | New York
Pittsburgh | Philadelphia | Portland | Princeton | Raleigh | San Antonio
San Diego | San Francisco | Seattle | South Florida | Washington, DC

REVIEW SET

Consultants

Project

**HAWAII CONVENTION CENTER -
DECK WATERPROOFING AND
SLATE TILE REPLACEMENT**

1801 Kalakaua Avenue
Honolulu, Hawaii 96815

TMK# 2-3-035:001

Client

AEG Management HCC, LLC

1801 Kalakaua Avenue
Honolulu HI 96815

Mark	Date	Description



Project No. **2024.0984.0**
Date **05/17/2024**
Drawn **AT**
Checked **FX**
Scale **As Noted**

**CONCRETE REPAIR
DETAILS**

Sheet Title

Sheet No.

S500